

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: July 13, 2006

ITEM NO. _____

SUBJECT	11-PP-2005 Arroya Bonita
REQUEST	<p>Request approval of a Preliminary Plat for 13 Single-Family Residential units with amended development standards, and approval for entry gate, monuments, walls and landscaping on a 29+/- acre parcel.</p> <p>Key Items for Consideration:</p> <ul style="list-style-type: none">• The site has limited access from East Jomax Road southward through the State Land Property, then east along from East Remuda Drive toward the Rawhide Estates and the south through a 33-foot wide access easement adjacent to Lots 1 and 2 of the Rawhide Estates subdivision. This easement was first established in the 1960s well before the Rawhide Estates plat to the north of this site was created.• The plat and construction envelopes encroach into the edge of the Rawhide Wash floodplain and some lots include walled, elevated building sites to assure protection from the large Rawhide Wash floodplain.• Neighbors are generally supportive and opposition to this project has come primarily from lot owners adjacent to the access easement to the north of the subject property.• Development will occur under the current ESL provisions.
OWNER	Monarch Communities LLC 480-344-7025
APPLICANT CONTACT	Phil LaBarbera Monarch Communities LLC 480-344-7025
LOCATION	Hayden and Yearling Roads
BACKGROUND	<p>Zoning.</p> <p>The site is zoned R1-43 ESL (Residential) District. This zoning district allows for single-family residential and associated uses on lots of one (1) acre or more. The ESL overlay provides for maintenance of a portion of the property as natural desert and provides for amended development standards.</p> <p>Context.</p> <p>This subdivision is located between the Rawhide Estates and Happy Valley Ranch subdivision north of East Happy Valley Road and east of the Hayden Road section line. Surrounding property is also zoned R1-43 ESL.</p>

The Rawhide Estates plat (R1-43 ESL) is located north of the site and was platted under the ESLO ordinance provisions. The Happy Valley Ranch subdivision to the east was platted before the area became part of Scottsdale and the Vistana plat to the northeast was established before the ESLO was applied to this area. The area to the west is State-owned land (R1-43 ESL) and designated for acquisition for the McDowell Sonoran Preserve. The area contains a variety of one acre or larger lots with platted and land division properties. The site is in the Upper Desert Landform.

The adjacent zoning and development conditions on the properties adjacent to this plat are:

- *North:** R1-43 ESL - Single family neighborhoods in the Environmentally Sensitive Lands overlay. (This is the Rawhide Estates subdivision which is partially built out.)
- *South:** R1-43 ESL – Single Family neighborhoods in the ESL overlay (There are existing homes.)
- *East:** R1-43 ESL – Single family neighborhoods in the ESL overlay (This is the nearly built-out Happy Valley Ranch subdivision.)
- *West:** R1-43 ESL - Single family neighborhoods in the ESL overlay (This is State Land that is within the Recommended Study Boundary (RSB) for the Desert Preserve.)

APPLICANT'S
PROPOSAL

Goal/Purpose of Request.

The request is to create a ten (10) custom (1+/- acre) home lot subdivision on the site. Access will be provided by a 33-foot (28-foot minimum) wide internal private street (tract) that terminates in a cul-de-sac that will be an extension of the access route described above. The plat contains amended development standards for:

- a. Lot area (43,000 to 32,500 square feet),
- b. Lot width (150 to 112.5 feet),
- c. Front yards (40 to 30 feet),
- d. Rear yards, (35 to 27 feet), and
- e. Side yards (20 to 15 feet).

These are reductions of 25% and are supported by the provision of increased NAOS (6.64 acres or 27% required versus 9.12 acres or 37% provided). Lots range in area from 0.75 to 3.79 acres and have construction envelopes between 12,600 and 26,900 square feet in area. NAOS is mainly provided within the Rawhide Wash area. This wash conveys peak flows of over 10,000 CFS and extends from the northeast to southwest parts of the site. Lots are located on both sides of the wash with most being placed on the west side. The fringe of the wash is being modified slightly through the use of floodwalls to accommodate this development.

The entry gates consist of brown and tan stucco finished walls and black metal swing gates. Site walls meander in and out along the building envelopes and contain open corral fencing within 15 feet of property lines.

Development Information:

*Parcel size: 24.3 acres

*Number of lots:	10
*Existing condition:	Vacant
*Building Height allowed:	24 feet
*NAOS required:	6.64 acres
*NAOS provided:	9.12 acres

IMPACT ANALYSIS**Traffic.**

The plat will result in the dedication of partial right-of-way along the North Hayden Road alignment. (33 foot street, local residential street), with additional improvements to include repairing and upgrading the existing City road located in the State Land property from East Jomax Road to the north. Access is provided from East Remuda Drive in Rawhide Estates to the north and through a 33-foot wide access easement adjacent to Lots 1 and 2. The southern lots will access from North Saddle Horn Road, which is a local residential street within the Happy Valley Estates subdivision to the east and south. A 20+/- foot wide road right-of-way easement is provided from the eastern cul-de-sac to the residential lot toward the east of the wash. The subdivision is expected to generate approximately 110 vehicles per day along the northern access to the site. The site traffic can be accommodated by the local street system.

Water/Sewer.

Water is provided by new water main improvements extended to the site from the local streets by the developer. Sewer will be provided by individual septic tanks and dry sewer, to be connected to the City sewer system in the future (this project is currently under study by the Water Resources Department).

Police/Fire.

The Fire Department has reviewed the plat and finds the street design standards conform to apparatus turning movement requirements. The gated entry feature contains keyless “knox box” protection. The nearest fire station is the interim facility at the northwest corner of Jomax and Pima Roads (roughly 1 ½ miles to the east)

Schools.

Cave Creek Unified School District has been notified of this application. The applicant contacted the Superintendent by phone regarding the plat. The Superintendent indicated no objection to this plat.

Open space/Scenic Corridors.

A total of 6.64 acres or 27% required and 9.12 acres or 37% is provided as NAOS. A public trail easement is provided through the Rawhide Wash within this site. The Rawhide Wash is a designated Vista Corridor.

Community Involvement.

The applicant has contacted adjacent property owners within 300 feet of the site and has been in contact with the neighbors to the north in order to resolve the access issues. An agreement has been achieved with the lot owner who has the largest share of the access easement on their property.

**STAFF
RECOMMENDATION**

Recommended Approach:
Staff recommends approval, subject to the attached stipulations.


**RESPONSIBLE
DEPT(S)**

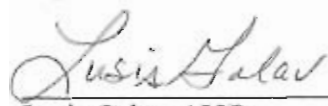
Planning and Development Services Department
Current Planning Services

STAFF CONTACT(S)

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Principal Planner
480-312-2352
E-mail: dhadder@ScottsdaleAZ.gov

APPROVED BY


Don Hadder
Report Author


Lusia Galav, AICP
Director, Current Planning
Phone: 48-312-2506
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Preliminary Plat/Site Plan
5. Wall/Gate/Monument Elevations/Details
6. Landscape Plan
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

ARROYO BONITA PROJECT NARRATIVE

Introduction:

Arroyo Bonita is a 24.8-acre project that will be developed by Monarch Communities, LLC. It is located on the East Side of the Hayden Road Alignment just south of Jomax Road.

The project will include 10 Custom and Semi-Custom homes in a gated community.

Request:

This application is for consideration of the Preliminary Plat for 10 lots with modified development standards and design approval of the conceptual gate, entry monuments, landscape and perimeter walls.

Public Involvement:

As a good neighbor and to ensure sensitivity and compatibility letters were sent to property owners, home owners, schools and HOAs within a 300 ft. radius of the site.

Site Plan:

The site plan was developed to allow homes sites within the site; avoiding washes to allow for maximum preservation of open space as well as for amenities for the future residents. The development envelopes were designed on a preliminary basis to designate development and preservation areas.

Lot sizes and configurations may vary throughout the site to respond to the configuration and alignments of the zoning district regulations. The entire 24.8 acres is zoned R1-43. The site provides for 15.8 acres (47%) of Natural Area Open Space (NAOS) with additional arrears of open space throughout the project. The total open space provided is approximately 14 acres (57%) consisting of NAOS, re-vegetated areas and front/rear yards. A large portion of the open space that is being provided will benefit the community. A public trail will meander throughout the scenic wash corridor to provide a north/south connection to the existing City Trails.

Access:

The primary access to the project is from Jomax Road via Hayden Road. A single electronic controlled gate, with 24 hour access, will be installed.

Architecture:

The proposed Architecture of the homes will be subject to the City of Scottsdale design review process.

Grading:

Grading will be low impact to fulfill the City and FEMA's requirements. The intention is that we would maintain the integrity of the surrounding area as much as possible. We would want to blend our proposed custom homes into the surrounding terrain as much as possible.

Landscape Architecture:

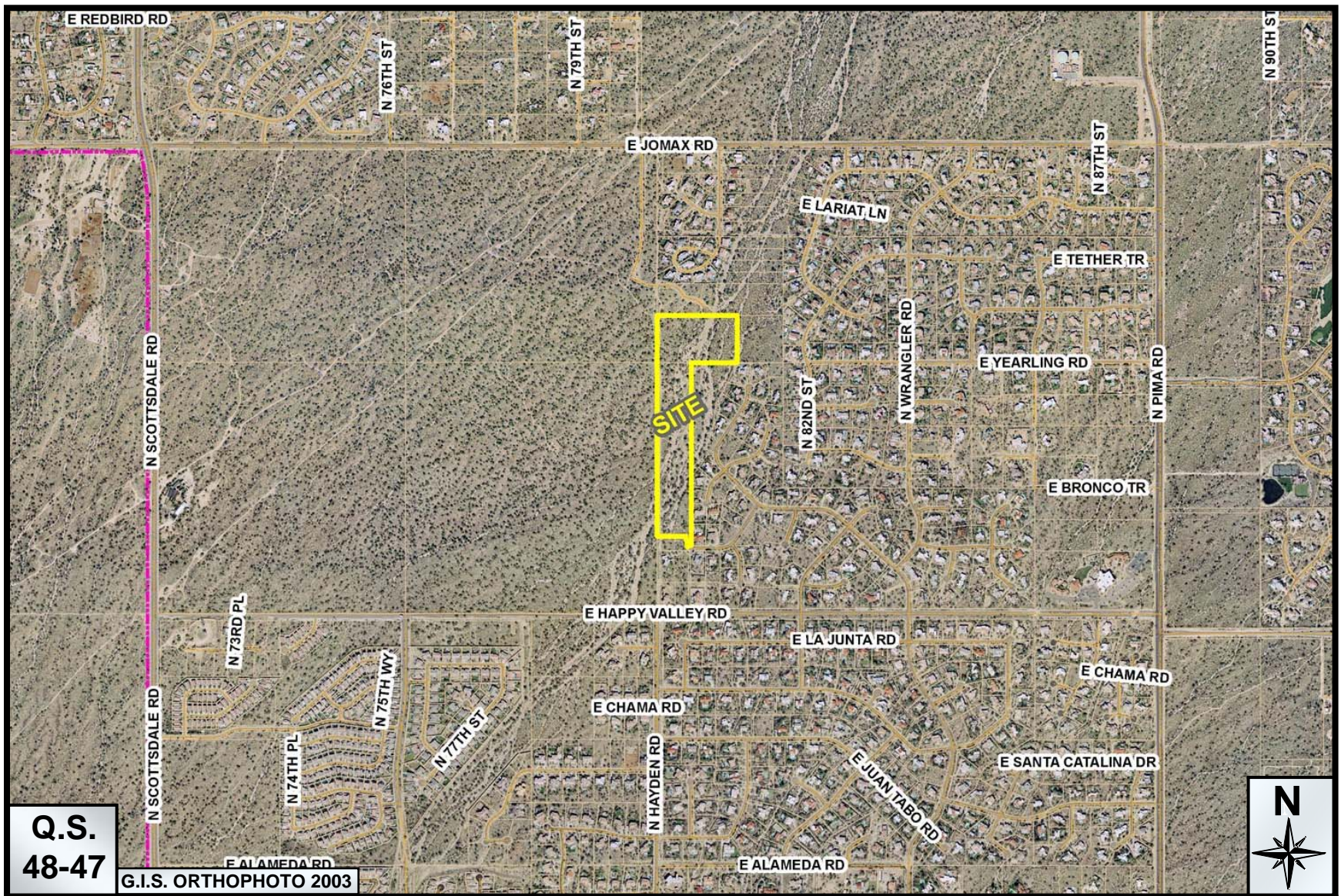
The proposed landscape architecture will compliment and be compatible with the existing vegetation.

Drainage:

The site drains generally from the northeast to the southwest. On-lot retention will be provided throughout the project to address city's requirements.

Conclusion:

Arroyo Bonita will provide a unique setting for a 10 lot high quality new home subdivision while preserving a substantial amount of the site as open space and provide community benefits such as additional preserved desert, scenic corridors, and community trails. Arroyo Bonita will be a great addition to The City of Scottsdales' Master plan.



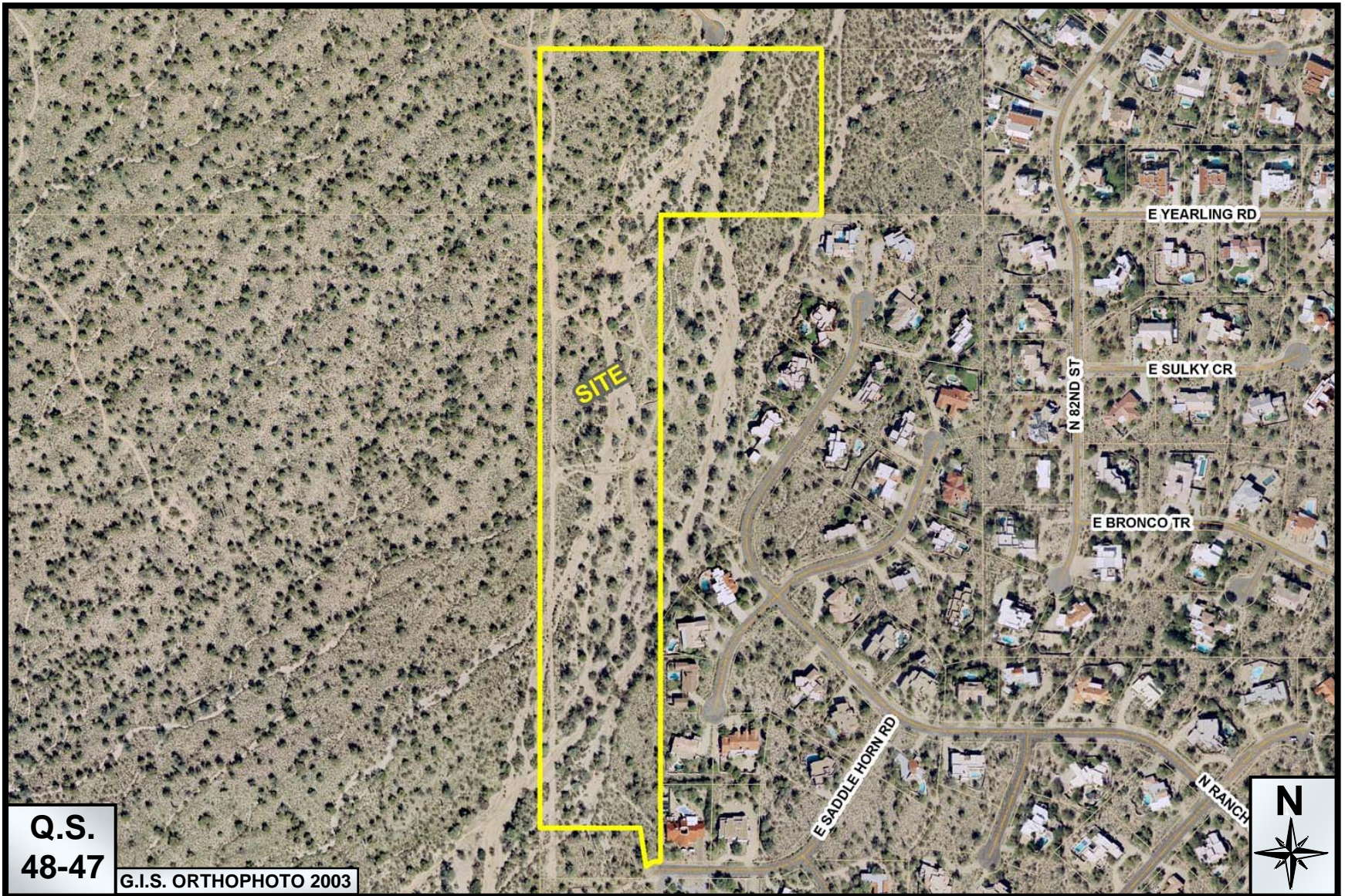
Q.S.
48-47

G.I.S. ORTHOPHOTO 2003

Arroya Bonita

11-PP-2005

ATTACHMENT #2



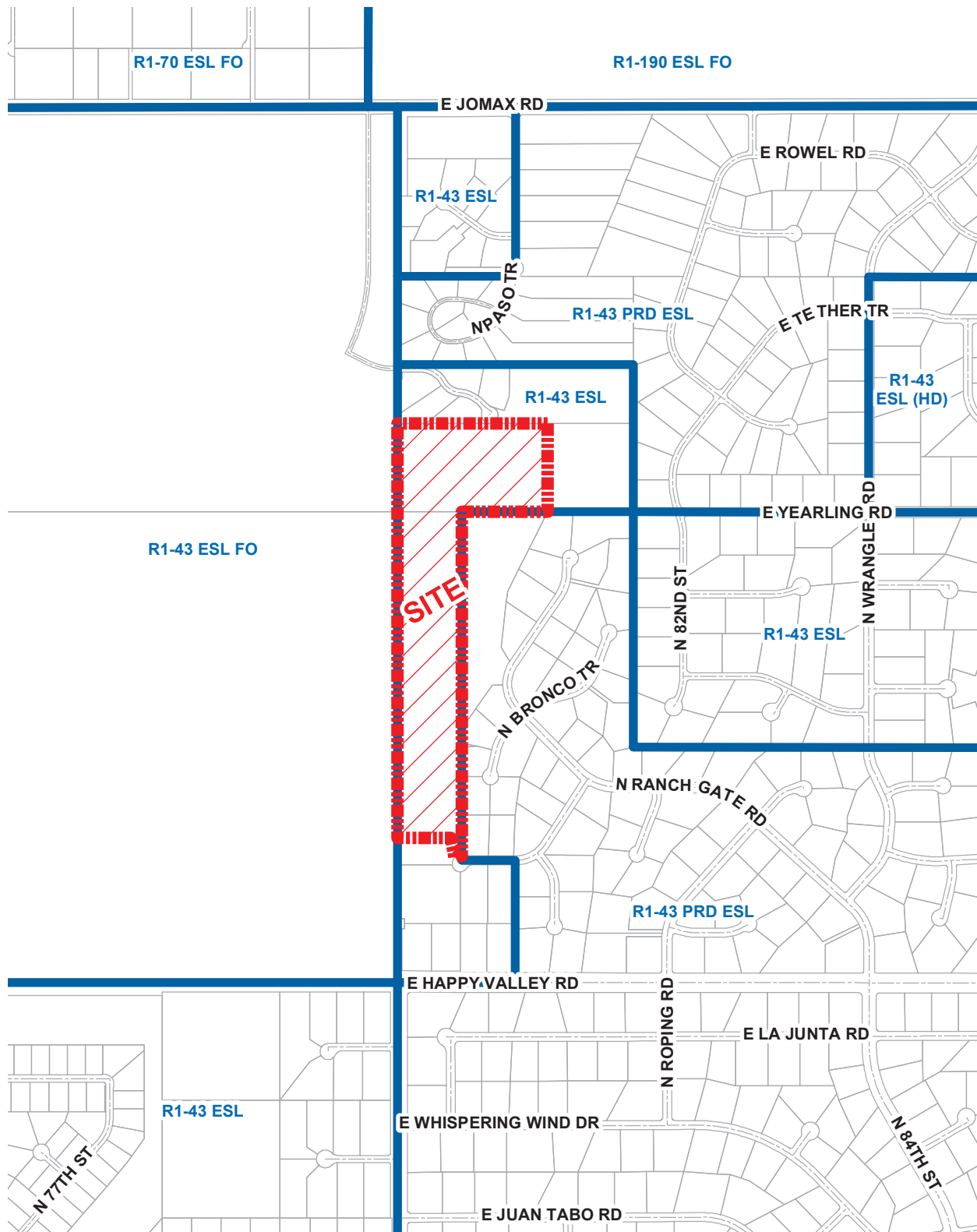
Q.S.
48-47

G.I.S. ORTHOPHOTO 2003

Arroya Bonita

11-PP-2005

ATTACHMENT #2A



11-PP-2005

ATTACHMENT #3



NOTES

- NO STRUCTURE OF ANY KIND SHALL BE CONSTRUCTED OR ANY UTILITIES BE PLACED OR BE ALLOWED TO CROSS WITHIN THE DRAINAGE EASMENTS WHICH WOULD IMPAIR THE FLOW OF WATER OVER, UNDER, OR THROUGH THE EASMENTS. THE CITY OF SCOTTSDALE MAY, AT ITS SOLE DISCRETION, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND IN THE EASMENTS.
- CONSTRUCTION OF ANY EASMENTS SHALL BE LIMITED TO ROAD, PIPE OR NONPOTABLE SEWER-TYPE FACILITIES.
- THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSIGNED WATER SUPPLY.
- EACH LOT IN THIS SUBDIVISION IS PROVIDED ONE (1) DRINKING WATER FEET FOR A TOTAL OF 13 DRINKING WATER FEET WITHIN THE ENTIRE SUBDIVISION.
- THE MASTER HOMEOWNERS ASSOCIATION OF SCOTTSDALE WATER SERVICE DISTRICT, INC. (MSA) IS THE DESIGNATED ENTITY FOR MAINTAINING ALL COMMON AREAS, PROVIDE "SINKS AND DRAINAGE" FACILITIES IN ACCORDANCE WITH APPROVED PLANS.
- STRUCTURES AND LANDSCAPING AT THE INTERSECTIONS OF A MAJOR STREET WITH A LOCAL STREET MUST BE MAINTAINED WITHIN THE 15' X 15' ALONG THE RIGHT-OF-WAY LINES. SHALL BE MAINTAINED AT A MINIMUM HEIGHT OF THREE FEET.
- ELECTRIC LINES TO BE INSTALLED PER ARIZONA CORP. COMMERCIAL, ORDER 0-45.
- ALL UTILITIES ARE TO BE PLACED UNDERGROUND.
- A UTILITY SURVEY REPORT FOR NONWATER REUSE HAS BEEN SUBMITTED TO APPROPRIATE DEPARTMENT FOR REVIEW AND APPROVAL.
- THIS PROJECT'S PLANNING USE IS FOR RESIDENTIAL USE.
- PROPOSED HIGHWAY IS PUBLIC.

FIELD NOTES

- LAND CONTAINING NO ROAD SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE OPENING, AREA OPEN SPACE (OAS) SHALL BE PERMANENTLY MAINTAINED AS MAXIMUM OPEN SPACE. BARRIERS, EASMENTS, DRAINAGE, AND DRAINAGE TO THE CITY OR OTHER ENTITY, SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- NON-RESIDENTIAL PLANT MATERIALS ARE LIMITED TO ENCLOSED AREAS AND SHALL NOT EXCEED 20 FEET IN HEIGHT.
- LAND IS LIMITED TO ENCLOSED AREAS NOT VISIBLE TO OPEN OR LOWER ELEVATIONS.
- REPLACING EXISTING MATERIALS ARE PROHIBITED.
- NO PART OF THE ROAD SHALL EXCEED A VALUE AND/OR COLOR OF 8 AS INDICATED IN THE MANUAL BOOK OF COLOR ON FILE IN THE CITY PLANNING DEPARTMENT. (SAMPLES MAY BE REQUIRED.)

SITE DATA

TOTAL AREA: 1,081,794 SF - 24.30 AC
 NUMBER OF LOTS: 10
 EXISTING ZONING: R2-43
 PROPOSED ZONING: R2-43
 SITE ADDRESS: 212-05-0000/212-05-0000
 LOT WIDTH: 120' MINIMUM
 LOT DEPTH: 227' MINIMUM
 MINIMUM LOT SIZE: 6.84 AC

UTILITIES

WATER: CITY OF SCOTTSDALE
 SEWER: CITY OF SCOTTSDALE
 REFUSE: CITY OF SCOTTSDALE
 ELECTRIC: ARIZONA PUBLIC SERVICE CO.
 TELEPHONE: QWEST COMMUNICATIONS
 GAS: SOUTHWEST GAS

LOT/TRACT/AREA/USE

TRACT	AREA	STREET/ROAD MAINTAINED
TRACT 1	43,982 SF/1.01 AC	STREET/ROAD MAINTAINED
LOT 1	38,762 SF/0.88 AC	CUSTOM LOT
LOT 2	133,674 SF/3.08 AC	CUSTOM LOT
LOT 3	140,810 SF/3.22 AC	CUSTOM LOT
LOT 4	125,870 SF/2.87 AC	CUSTOM LOT
LOT 5	45,804 SF/1.05 AC	CUSTOM LOT
LOT 6	45,757 SF/1.05 AC	CUSTOM LOT
LOT 7	45,760 SF/1.05 AC	CUSTOM LOT
LOT 8	43,982 SF/1.01 AC	CUSTOM LOT
LOT 9	212,845 SF/4.88 AC	CUSTOM LOT
LOT 10	205,880 SF/4.71 AC	CUSTOM LOT

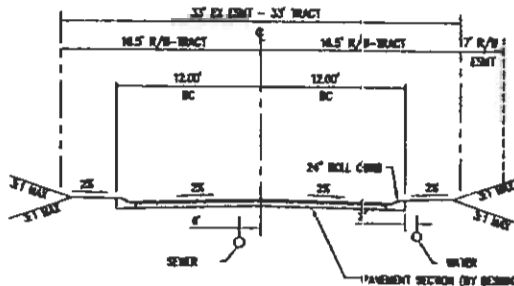
ENGINEER'S CERTIFICATION:
 THE LOWEST FLOOR ELEVATIONS AND/OR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVENUE CODE, CHAPTER 37 - FLOODWAYS & FLOOD PLANS ORDINANCE.

PRELIMINARY PLAT FOR ARROYO BONITA

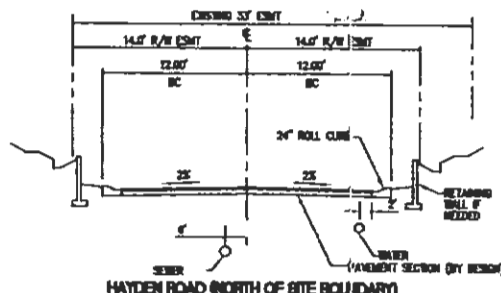
LOCATED IN THE WEST HALF OF SECTION 1,
 TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
 MARICOPA COUNTY, ARIZONA.

SHEET INDEX

COVER SHEET
 PRELIMINARY PLAT



HAYDEN ROAD
 (PRIVATE ROAD - LOOKING NORTH)
 NTS



HAYDEN ROAD NORTH OF SITE BOUNDARY
 (PRIVATE ROAD - LOOKING NORTH)
 NTS

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PARCEL #	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (in 100 Year, 15 min Depth)
040133333	1238	9-30-05	ND & T	X & Y

LEGAL DESCRIPTION

PARCEL 1:

A PORTION OF LAND LOCATED IN THE WEST HALF OF SECTION 1, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT 1 INCH IRON PIPE AT THE WEST CORNER CORNER OF SAID SECTION 1, FROM WHICH A 1 INCH IRON PIPE AT THE NORTHEAST CORNER OF SAID SECTION BEARS NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET;
 THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET;
 THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 1,077.34 FEET;
 THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 1;
 THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 1,077.34 FEET TO THE POINT OF BEGINNING OF THE PARCEL, HEREIN DESCRIBED.

PARCEL 2:

A PORTION OF LAND LOCATED IN THE WEST HALF OF SECTION 1, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT 1 INCH IRON PIPE AT THE WEST CORNER CORNER OF SAID SECTION 1, FROM WHICH A 1 INCH IRON PIPE AT THE NORTHEAST CORNER OF SAID SECTION BEARS NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET;
 THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET;
 THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 1,077.34 FEET;
 THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 1;
 THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 1,077.34 FEET TO THE POINT OF BEGINNING OF THE PARCEL, HEREIN DESCRIBED.

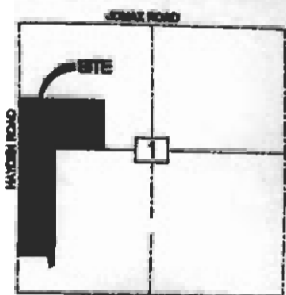
PARCEL 3:

A PORTION OF LAND LOCATED IN THE WEST HALF OF SECTION 1, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT 1 INCH IRON PIPE AT THE WEST CORNER CORNER OF SAID SECTION 1, FROM WHICH A 1 INCH IRON PIPE AT THE NORTHEAST CORNER OF SAID SECTION BEARS NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET;
 THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET;
 THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 1,077.34 FEET;
 THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 1;
 THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS TO SECTION WEST, A DISTANCE OF 1,077.34 FEET TO THE POINT OF BEGINNING OF THE PARCEL, HEREIN DESCRIBED.

BASE OF BEARING

THE EAST-WEST AND SECTION LINE, THE LINE WHICH BEARS NORTH 00°00'00" WEST.



HAYDEN ROAD
 NTS

HAYDEN ROAD
 NTS

ENGINEER

SKG ENTERPRISES, INC.
 5200 EAST RAVENHILL DRIVE
 SUITE 140
 SCOTTSDALE, ARIZONA 85250
 PH: (480) 940-0000
 FX: (480) 940-0000
 CONTACT: JIM ANDERSON

DEVELOPER / OWNER

BOWMAN COMMERCIAL, LLC
 17740 N. PARKWAY BLVD
 SUITE 100
 SCOTTSDALE, AZ 85250
 PH: (480) 228-7000
 FX: (480) 228-7000
 CONTACT: PAUL LAMBERS

LAND SURVEYOR

SURVEY INQUIRY GROUP, INC.
 8340 E. GARDEN DRIVE
 SUITE C-11A
 SCOTTSDALE, AZ 85250
 PH: (480) 940-0000
 FX: (480) 940-0000
 CONTACT: JASON BOWMAN

LANDSCAPE ARCHITECT

JIMMY BOWMAN
 PHOENIX, AZ 85004
 PH: (602) 960-0704
 FX: (602) 960-0704
 CONTACT: JEFF PETERS

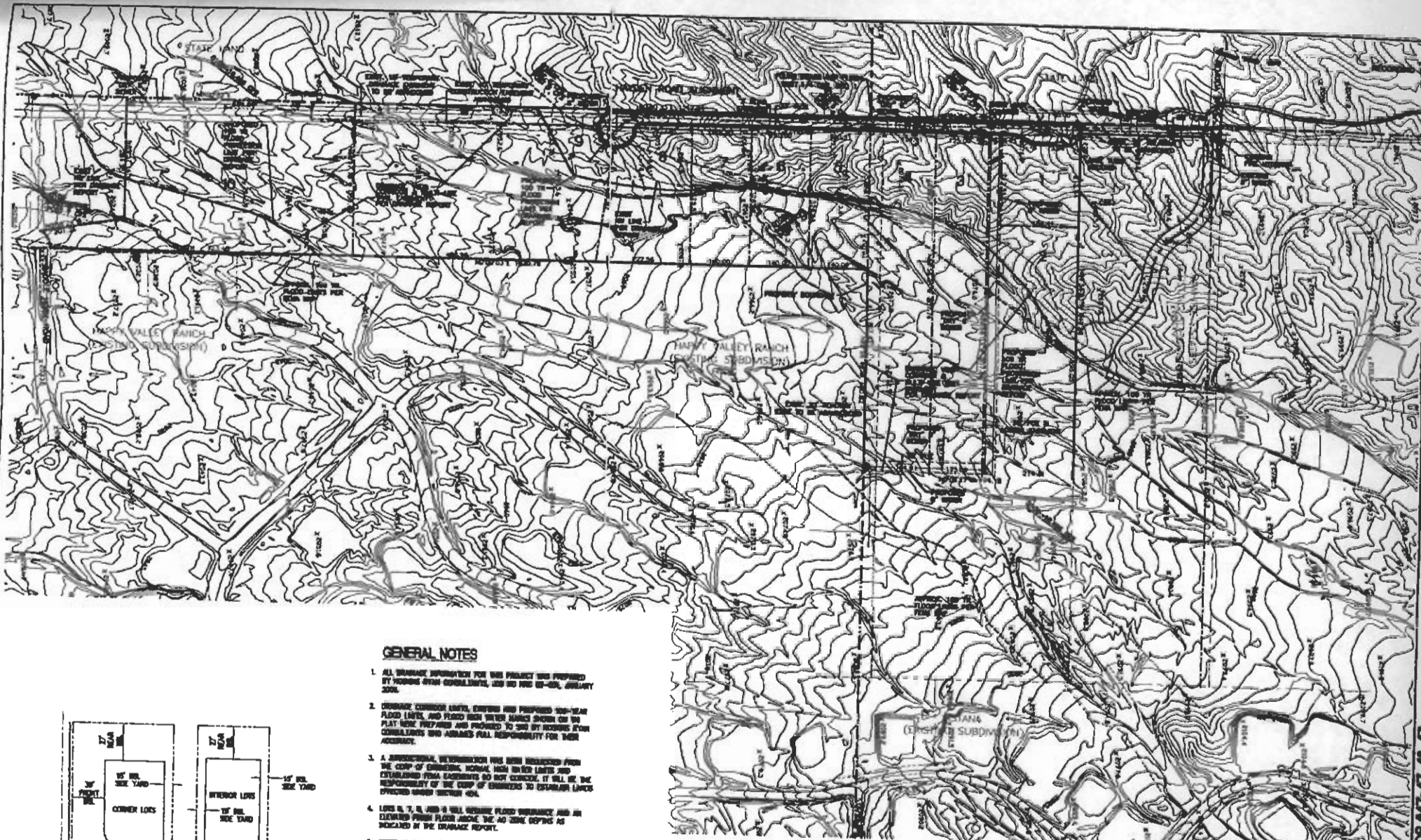
GENERAL NOTES

- TRACT A SHALL BE A PRIVATE STREET WITH PUBLIC UTILITY AND IMPROVEMENTS PROVIDED.
- SUBDIVISION OF TRACT A, EASMENTS AND ANY OTHER UTILITIES LOCATED WITHIN THE PRIVATE TRACT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
- ALSO WILL BE MAINTAINED AT THE TIME OF CLOSING LOT USE PLAN DEVELOPMENT.
- ALL EASMENTS, MATERIALS, PROVIDED FOR THIS PROJECT WAS PREPARED BY ENGINEERS FROM CONSULTANTS, AND NO FIRM OR INDIVIDUAL SHALL BE RESPONSIBLE FOR THE SAME.
- A PRELIMINARY JURISDICTIONAL DETERMINATION HAS BEEN REQUESTED FROM THE CORP OF ENGINEERS, NORMAL HIGH WATER LIMITS AND ESTABLISHED FLOOD EASMENTS DO NOT CONFLICT. IT WILL BE THE RESPONSIBILITY OF THE CORP OF ENGINEERS TO ESTABLISH LANDS AFFECTED UNDER SECTION 604.

SKG ENTERPRISES, INC.
 CONSULTING CIVIL ENGINEERS
 5200 E. RAVENHILL DRIVE • SUITE 140 • SCOTTSDALE, ARIZONA 85250 • PHONE: (480) 940-0000

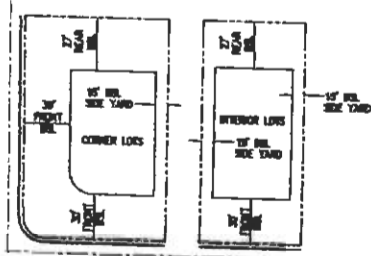
PRELIMINARY PLAT FOR ARROYO BONITA
 SHEET 1 OF 2

11-PP-2005
 REV: 1/19/2006



GENERAL NOTES

1. ALL DRAINAGE INFORMATION FOR THIS PROJECT WAS PROVIDED BY HERRING & ASSOCIATES, INC. AND IS FOR 100-YEAR FLOOD DATA.
2. DRAINAGE CORRIDOR LIMITS, EXISTING AND PROPOSED 100-YEAR FLOOD LIMITS, AND FLOOD RISE WERE SHOWN ON THE PLAT HERE PREPARED AND PROVIDED TO YOU BY HERRING & ASSOCIATES, INC. AND HERRING & ASSOCIATES, INC. ASSUMES FULL RESPONSIBILITY FOR THEIR ACCURACY.
3. A SURVEYORIAL NETWORKING HAS BEEN REQUESTED FROM THE CORP. OF ENGINEERS, HERRING & ASSOCIATES, INC. AND ESTABLISHING FROM EXISTING TO NEW CORRIDOR. IT WILL BE THE RESPONSIBILITY OF THE CORP. OF ENGINEERS TO ESTABLISH LIMITS EFFECTED UNDER SECTION 404.
4. LOTS 6, 7, 8, AND 9 WILL REMAIN FLOOD VULNERABLE AND AN ELEVATED FLOOD PLAIN ABOVE THE 40' ELEVATION AS INDICATED IN THE DRAINAGE REPORT.
5. REFER TO PROJECT'S DRAINAGE REPORT FOR PROPOSED 100-YEAR FLOOD PROTECTION DETAILS TO APPROXIMATE LIMITS OF EXISTING "W" LINE ENCLOSED LOTS 2, 3, 7, 8 AND 9.



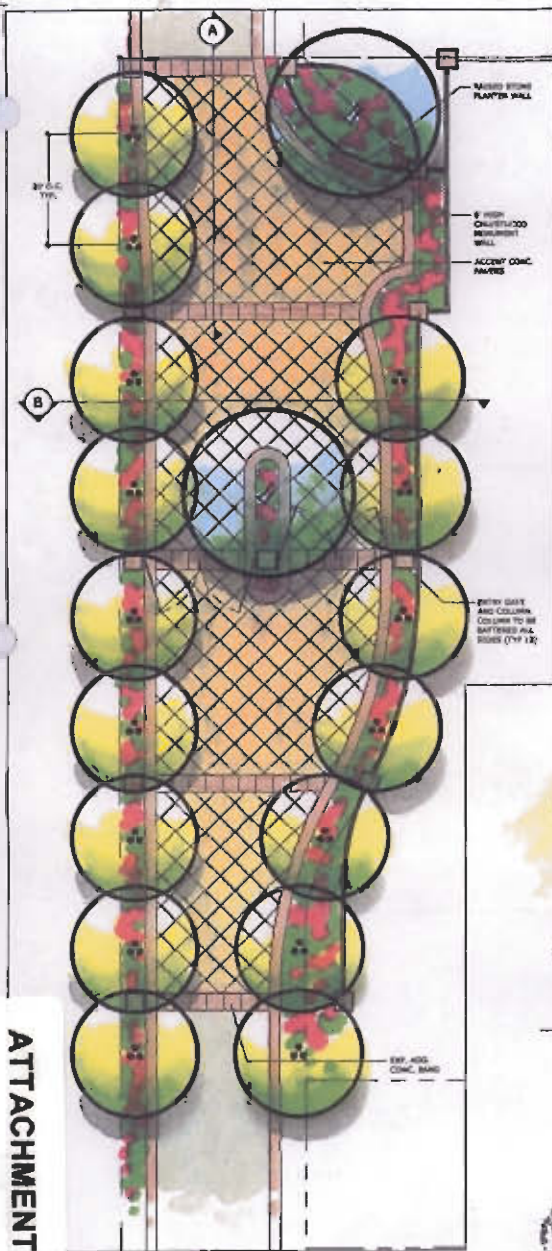
TYPICAL LOT DETAIL
N15

LEGEND

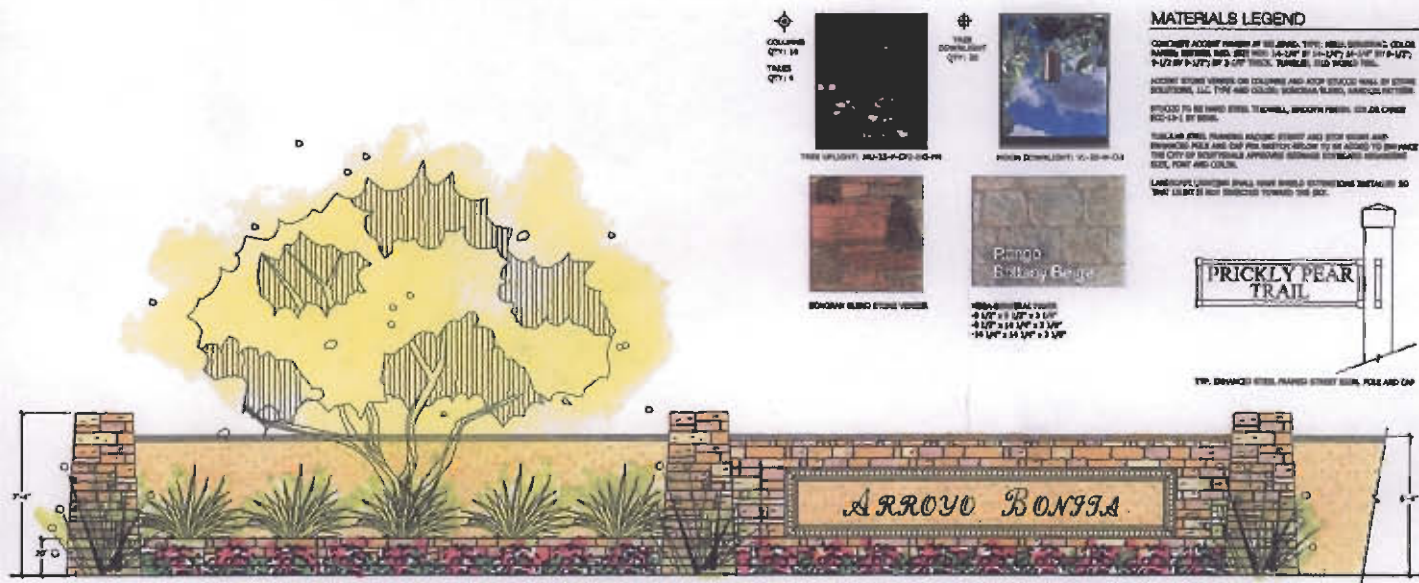
- | | | | |
|-----|----------------------------|-----|-----------------------------|
| —●— | EXISTING OVERHEAD ELECTRIC | —●— | PROPOSED PROPERTY LINE |
| —○— | EXISTING ELECTRIC LINE | —●— | EXISTING SPOT ELEVATION |
| —○— | EXISTING GAS LINE | —●— | BUILDING SET BACK LINE |
| —○— | EXISTING 2 FOOT CONTROLL | —●— | PROPOSED 4" WATER LINE |
| —○— | EXISTING 3 FOOT CONTROLL | —●— | PUBLIC UTILITY EASEMENT |
| —○— | EXISTING FENCE | —●— | VEHICLE NON-ACCESS EASEMENT |
| —○— | EXISTING PROPERTY LINE | —●— | |



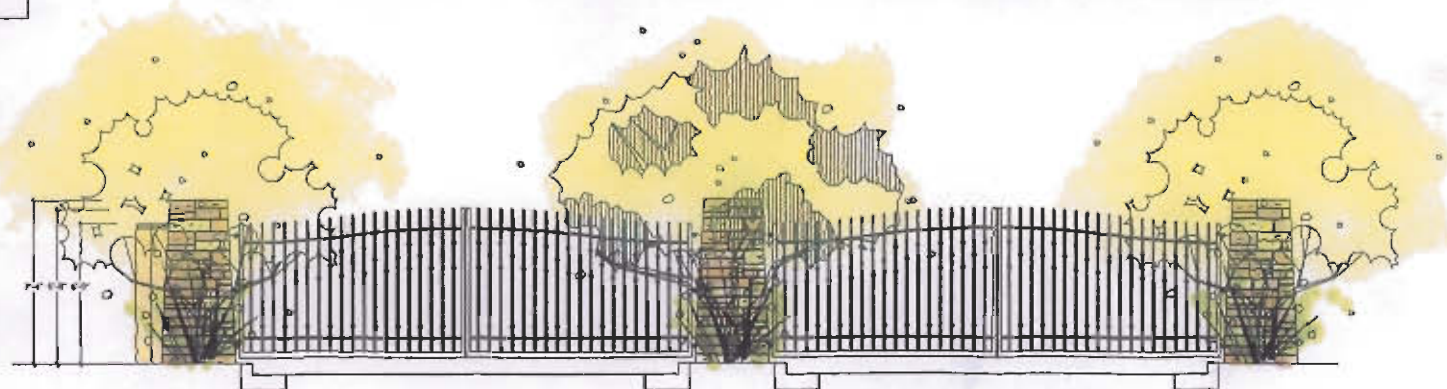
SEG ENTERPRISES, INC. CONSULTING CIVIL ENGINEERS 1000 E. Main Street • Suite 100 • Bismarck, ND 58101 • (701) 223-1000	
PRELIMINARY PLAT FOR AFFICIA BONTA	SHEET 2 OF 2



SCALE 1" = 10' ENTRY - PLAN VIEW



A. ELEVATION - RAISED PLANTER AND MONUMENT WALL



B. ELEVATION - ENTRY GATE AND COLUMNS



entry concept
arroyo bonita scottsdale, arizona

11-PP-2005

0 5' 10' 20' 40'
1" = 10'-0"
Project No 55-143
Date 19 January 2006



MONARCH COMMUNITIES, LLC.
8502 E. Princess Drive, Suite 240
Scottsdale, AZ 85255



Arroya Bonita
Hayden & Yearling Rd
Scottsdale, Arizona

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE THE DESIGNATED STIPULATIONS INTO FINAL PLAT)

- | | |
|--|---|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.</p> <p><input type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.</p> <p>_____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 4. PROVIDE A KNOX ACCESS SYSTEM:</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> A. KNOX BOX</p> <p style="margin-left: 20px;"><input type="checkbox"/> B. PADLOCK</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input type="checkbox"/> 5. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____</p> <p><input checked="" type="checkbox"/> 6. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16") TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 7. NUMBER OF FIRE HYDRANTS REQUIRED, <u>3</u>. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> | <p><input checked="" type="checkbox"/> 8. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.</p> <p><input checked="" type="checkbox"/> 9. MODIFIED NFPA 13-D SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS.</p> <p><input type="checkbox"/> 10. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.</p> <p><input checked="" type="checkbox"/> 11. NFPA (2002 EDITION) COMMERCIAL SYSTEM / DESIGN CRITERIA:</p> <p><input type="checkbox"/> 12. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input type="checkbox"/> 13. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.</p> <p><input type="checkbox"/> 14. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x _____ (NSHT)</p> <p style="margin-left: 20px;"><input type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p style="margin-left: 20px;"><input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> |
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ATTACHMENT A

Stipulations for Case: 11-PP-2005

Case Name: Arroya Bonita

Unless otherwise stated, the developer agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

Applicable Documents, Plans, And Relevant Cases

1. The improvement plans and plat shall be in substantial conformance to the following documents except as required by the Revised Scottsdale City Code, and the stipulations herein:

General Documents

- (1) The location and configuration of all site improvements shall be constructed to be consistent with the Preliminary Plat submitted by SKG Enterprises, Inc., dated 9/22/05 by City staff.
- (2) The Design Standards and Policies Manual (DS&PM).

Planning Documents

- (3) Each lot shall be constructed to comply with the Amended Development Standards submitted by SKG Enterprises, Inc., dated 9/22/05 by City staff.
- (4) The Conceptual Walls Design by SKG Enterprises, Inc., dated 1/19/06 by City staff.
- (5) The NAOS, including quantity, size, and location shall be provided in a manner consistent with the Natural Area Open Space (NAOS) Analysis exhibit submitted by SKG Enterprises, Inc., dated 1/19/06 by City staff.

Engineering Documents

- (6) Water Master Plan for Arroyo Bonito; prepared by SKG Enterprises.
- (7) Wastewater Master Plan for Arroyo Bonito; prepared by SKG Enterprises.
- (8) Master Drainage Plan for Arroyo Bonito; prepared by SKG Enterprises.
- (9) Preliminary Drainage Report for Arroyo Bonito ; prepared by SKG Enterprises , dated June 19, 2006.
- (10) Preliminary Grading and Drainage Plan for Arroyo Bonito ; prepared by SKG Enterprises.
- (11) Water System Basis of Design Report for Arroyo Bonito; prepared by SKG Enterprises.
- (12) Wastewater System Basis of Design Report for Arroyo Bonito; prepared by SKG Enterprises .

Subdivision Plat Requirements

Subdivision Design

DRB Stipulations

2. The final plat and the final improvement plans shall identify the ownership, use and the maintenance responsibilities of any land not used for residential lots.
3. The homeowners' association shall be responsible for the maintenance of the exterior perimeter walls. The developer shall note this requirement on the final plat.
4. Provide the following note on the final plat: Each lot contains a maximum building construction envelope approved by the City of Scottsdale's Development Review Board. The building envelope

exhibit is on file at the City of Scottsdale. No buildings or on-lot improvements shall be located outside of the construction envelope.

5. Provide the following note to the final plat: Land designated as Natural Area Open Space (NAOS) shall be permanently maintained as natural desert space pursuant to the City of Scottsdale's Environmentally Sensitive Lands Ordinance. Designated NAOS areas shall not be accepted for the maintenance, or property ownership by the City of Scottsdale without expressed action of the City of Scottsdale's City Council. Before any improvement is accepted, it shall meet City standards. Failure to maintain the designated NAOS areas could result in a civil action brought by the City for costs incurred by the City of Scottsdale for maintenance and preservation.
6. The minimum total NAOS to be dedicated for this project shall be 9.12 acres.
7. Amended Development Standards shall be as provided as attached hereto.

Ordinance

- A. *The developer shall provide a separate, dimensioned, building envelope exhibit with the final plat review. (ESLO)*

Street Dedication Requirements

DRB Stipulations

8. Developer shall provide confirmation and proof of Title Insurance for the access easement and emergency vehicle access easement on Lots 1 and 2 of Rawhide Estates.

Ordinance

- B. *The developer shall provide the following street rights-of-way:*

STREET NAME	STREET TYPE	R.O.W. DEDICATION
State Land Access Road	Local Residential Street	30 foot existing, to repair and upgrade existing access road to ESL Road Design Standards, being acceptable to Transportation and Engineering Department, Local Residential Street, no sidewalk required
Hayden Road Alignment (Private)	Local Residential Street	33 foot wide dedication (full width)(28 feet allowed for a short distance as approved by the city), being acceptable to Transportation and Engineering Department, per Fig. 700-5, Local Residential Street, and 700-6, Residential Cul-de-sac Street, no sidewalk required
East Prickly Pear Trail (Private)	Local Residential Street	40' (full width) – per ESL Road Design Standards, per Fig. 700-5, Local Residential Street, and 700-6, Residential Cul-de-sac Street, no sidewalk required

Easements

DRB Stipulations

9. Vista Corridor
 - (1) All watercourses with a 100-year peak flow rate of 750 cfs or greater, shall be dedicated as Vista Corridors on the final plat. Each Vista Corridor shall be established by a continuous scenic easement. The minimum width of the Vista Corridor easement shall be one hundred feet and shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse.

- (2) The Vista Corridor shall be left in a natural state unless disturbed by infrastructure improvements as approved by the Planning and Development Services Department.

10. Trail Easement:

Prior to final plan approval, the developer shall dedicate a minimum 100 foot wide public trail easement located within the drainage easement of Rawhide Wash through the site. The applicant shall be responsible for coordinating the approved trail alignment with the City's Trail Coordinator. The alignment shall be determined prior to submission of final plans.

11. Indemnity Agreements:

When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

C. *Drainage Easement:*

- (1) *Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 50 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. The plat shall state that all drainage and flood control easements shall be dedicated to the City with maintenance responsibility for drainage facilities and detention basins to be that of the property owner and/or the Homeowners Association.*

D. *Waterline and Sanitary Sewer Easements:*

- (1) *Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water and sewer easements necessary to serve the site.*

E. *Vista Corridor Easements:*

- (1) *All vista corridor easements shall be dedicated to the City as drainage and flood control easements, with maintenance the responsibility of the owner.*

F. *Public Utility Easement:*

- (1) *An 8-foot wide public utility easement shall be dedicated along the internal sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.*

G. *Natural Area Open Space Easement (NAOS):*

- (1) *A NAOS easement shall be dedicated to the City of Scottsdale for all areas designated as NAOS*

Final Improvement Plan Requirements

PLANNING

Gated Entry Feature Design

DRB Stipulations

12. The face of the service entrance section(s), if exterior, shall be flush with the building façade and painted to match the building.

13. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
14. All exterior conduit and raceways shall be painted to match the building.

Ordinance

H. Walls and gated entry feature paint and materials shall have a light reflective value of 35 or less.

Walls and Fence Design**DRB Stipulations**

15. All walls shall match the architectural color, materials and finish of the entry feature.
16. Walls within a sight visibility triangle shall not exceed 2'-0" measured from nearest street line as described in the DS&PM.

Natural Area Open Space (NAOS)**DRB Stipulations**

17. Any NAOS that is dedicated over a Public Utility Easement shall be counted as re-vegetated NAOS.
18. NAOS shall not be dedicated within 5-feet of any building
19. NAOS areas dedicated within 10-feet of any building shall be considered re-vegetated NAOS.
20. NAOS areas dedicated within 5-feet of any wall shall be considered re-vegetated NAOS.

Construction Envelope Exhibit**DRB Stipulations**

21. Add the following note to the final construction envelope exhibit: "Modification to the building envelope exhibit shall require the approval of the Development Review Board."

Ordinance

- I. The developer shall provide a separate dimensioned construction envelope exhibit with the improvement plan review.*

Landscape Design**DRB Stipulations**

22. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
23. Salvaged vegetation shall be incorporated into the landscape design.
24. Provide the following note: Area within a sight distance triangle shall be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within a sight distance triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line.
25. All roadway tracts shall be landscaped and maintained by the developer and/or homeowner association.

Exterior Lighting Design**DRB Stipulations**

26. No lighting shall be permitted in dedicated NAOS easements, or Vista Corridor easements.

27. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting, except for landscape lighting at the entry feature.
28. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line, except sign, path and landscape lighting except for landscape lighting at the entry feature.
29. Incorporate into the project's design, the following:
 - Gate House Design And Amenity Feature Design
 - (1) Fixtures shall be a flat black or dark bronze finish.
 - Landscape Lighting
 - (2) All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
 - (3) Fixtures shall be a flat black or dark bronze finish.
 - (4) Landscaping lighting shall only be utilized to accent plant material.
 - (5) All landscape lighting directed upward, shall be aimed away from property line.
 - (6) All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
 - (7) The landscape lighting lamp shall be an incandescent or halogen incandescent source.

Ordinance

- J. *The landscape light lamps shall not exceed 15 watts.*

Additional Planning Items

DRB Stipulations

30. Flagpoles, if provided, shall be one piece, conical, and tapered.
31. As part of the sales of any residential lot adjacent to a public trail, path, the developer shall require the purchaser to sign an acknowledgement that the property is adjacent to a public trail, path, or commercial property.

ENGINEERING

Drainage And Flood Control

DRB Stipulations

32. Demonstrate consistency and conformance with accepted drainage plans and reports from Section I, Applicable Engineering Documents and Plans.
 - (1) Any conceptual or substantial changes not consistent with the Arroya Bonita Master Drainage Plan; prepared by Hoskin-Ryan Associates, shall require an addendum to this Master Drainage Plan, subject to review and approval by the city staff.
 - (2) Addendum generated shall be added to the appendix of the Arroya Bonito Final Drainage Report.
 - (3) The developer shall submit two (2) hard copies and one (1) compact disc copy of complete final plans/reports prior to final City of Scottsdale approval of the improvement plans.
33. Basins shall be designed such that the depth of water does not exceed 3 feet for all storm frequencies up to the 100 year 2 hour event.

34. Basin sideslopes shall not exceed 4:1 (ratio of 4 feet horizontal to 1 foot vertical) wherever practical.
35. Basins shall be designed to have positive outfall whenever practical. When positive outfall cannot be provided, then mechanical means shall be used to drain the basin. Percolation, including dry wells, shall not be allowed. Provide bleed-off calculations that demonstrate the discharge rate and the time to drain.
36. All 404 jurisdictional delineations shall be shown on the final improvement plans and the final drainage report drainage exhibit/plan. All areas of disturbance shall be clearly noted. A completed 404 Certification Form shall be submitted with final improvement plans. A copy of the 404 permit from the U.S. Army Corps of Engineers, including an exhibit showing the delineations, shall be submitted prior to approval of final improvement plans. Limits of disturbance and other conditions must be in conformance with the 404 permit.
37. All onsite erosion protection and floodwalls necessary to protect residential structures from flooding, within a given parcel, shall be constructed as infrastructure improvements for that parcel, even if they are located in a different parcel, prior to the issuance of building permits in that parcel.
38. Provide positive drainage away from walks and curbs along all streets.
39. Riprap shall be indigenous stone.
40. All exposed cut and fill shall be treated with eonite or equivalent.

Ordinance

- K. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
 - (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. In all cases, storage basins must drain completely within 36 hours.
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered. Dry wells shall not be used.
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
 - (4) Off-site runoff must enter and exit the site as it did historically.
 - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- L. If full storage of the 100 year, 2 hour storm event is not provided, then application for a Stormwater Storage Waiver for this development must be submitted to the One Stop Shop. Approval of the Stormwater Storage Waiver by the City's Stormwater Management Division will be required, and must be obtained prior to submittal of final improvement plans or final plat.
- M. Other Stormwater Storage:

Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.

Drywells are not allowed.
- N. Street Crossings:

Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

Roadway, Intersection, And Access Design**DRB Stipulations**

41. Streets and other related improvements:
42. Where a gated entrance is proposed, the developer shall design and construct the gated entrance in conformance with Figure 8.1-1 of the City's Design Standards and Policies Manual.
43. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.

Ordinance

- O. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

Trails And Paths**DRB Stipulations**

44. The developer shall be responsible for coordinating the approved trail alignment with the City's Trail Coordinator. The alignment shall be determined prior to submission of final plans.

Refuse**DRB Stipulations**

45. If individual (80-gallon) refuse containers are not planned for the development, the site's trash enclosures shall be constructed to City of Scottsdale's Refuse Enclosure detail.

Ordinance

- P. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
- Q. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

Water And Wastewater Stipulations

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements.

DRB Stipulations

46. APPROVED BASIS OF DESIGN REPORTS. Basis of Design Reports (Water and Sewer) have been accepted by City of Scottsdale Water Resources Department on 9/1/05.
47. Whenever looped or outfall lines are required outside the roadway prism, the lines shall be located in a tract (not on a lot) with a 20' water/sewer easement overlaying the alignment. These alignments shall be graded and maintained in a manner that allows access for maintenance purposes, in accordance with the City's Design Standards and Policies Manual.
48. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

Water**Ordinance**

- R. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

Wastewater**Ordinance**

- S. Privately owned sanitary sewer shall not run parallel within the waterline easement.

Construction Requirements

As-Builts**DRB Stipulations**

49. Improvement plans that document all ongoing construction, including, but not limited to, field changes, as-built locations, or other modifications, shall be maintained at the construction site, and shall be made available to City staff for review upon request.
50. City staff may request the developer to submit as-built plans to the Inspection Services Division prior to acceptance of construction, or within one year from the date of acceptance.
51. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
52. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges, as determined by city staff.

Summary Of Development Standards

Subdivision Name	Arroya Bonita
Zoning	R1-43 ESL

	Ordinance Requirements	Maximum Reduction Allowed	Amended Standards	(%) Proposed Reduction
Min. Lot Area	43,000 s.f.	32,250 s.f.	32,250 s.f.	25%
Min. Lot Width				
Standard Lot	150'	112.'	112.5'	25%
Flag Lot	20'	20'	20'	Per Ord.
Maximum Building Height	24'	24'	24'	Per Ord.
Min. Yard Setbacks				
Front Yard*	40'	30'	30'	25%
Front (to face of building)	40'	30'	30'	25%
Front (to face of garage)	40'	30'	30'	25%
Front (corner lot, side street)	40'	30'	30'	25%
Front (corner lot, adjacent to key lot, side street)	40'	30'	30'	25%
Front (double frontage)	40'	30'	30'	25%
Side Yard				
Minimum	20'	15'	15'	25%
Minimum aggregate	40'	30'	30'	25%
Rear Yard				
Standard Depth	35'	27'	27'	23%
Min. Depth (% of difference which can be occupied)				
Patio*				
Distance Between Buildings (Min)				
Accessory & Main	10'	7.5'	7.5'	25%
Main Buildings/Adjacent Lots	40'	30'	30'	25%
Maximum Wall Height				
Front	Per Ord.			
Side				
Rear				
Corner side not next to key lot				
Corral fence height (on prop line)				
Development Perimeter Setbacks				
Notes & Exceptions See Legislative Draft for approved Development Standards. * Setbacks may be measured from the edge of the right-of-way dedication along Hayden Road Alignment				